

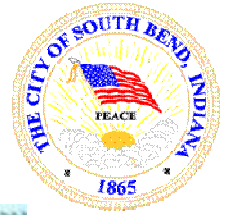
Vacant & Abandoned Properties

1,000 houses in 1,000 days:
Community Update

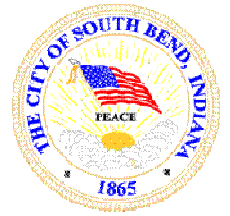
December 7, 2015



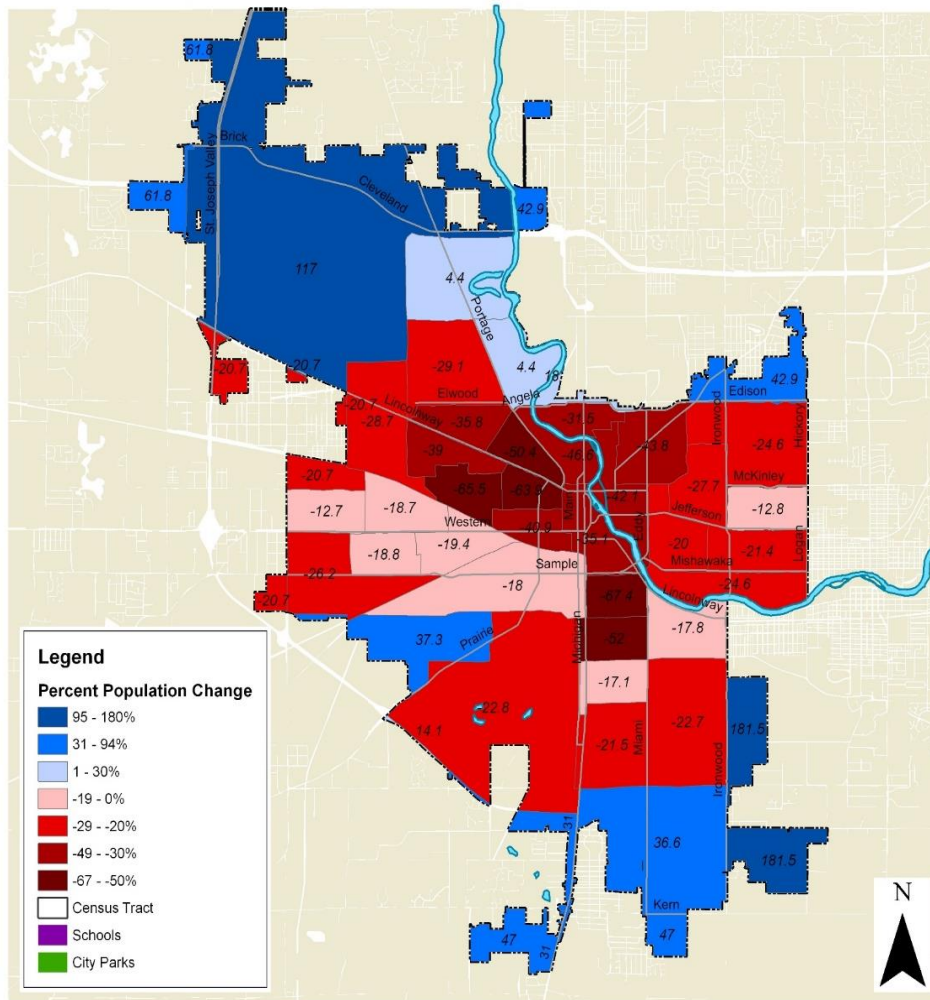
Outline



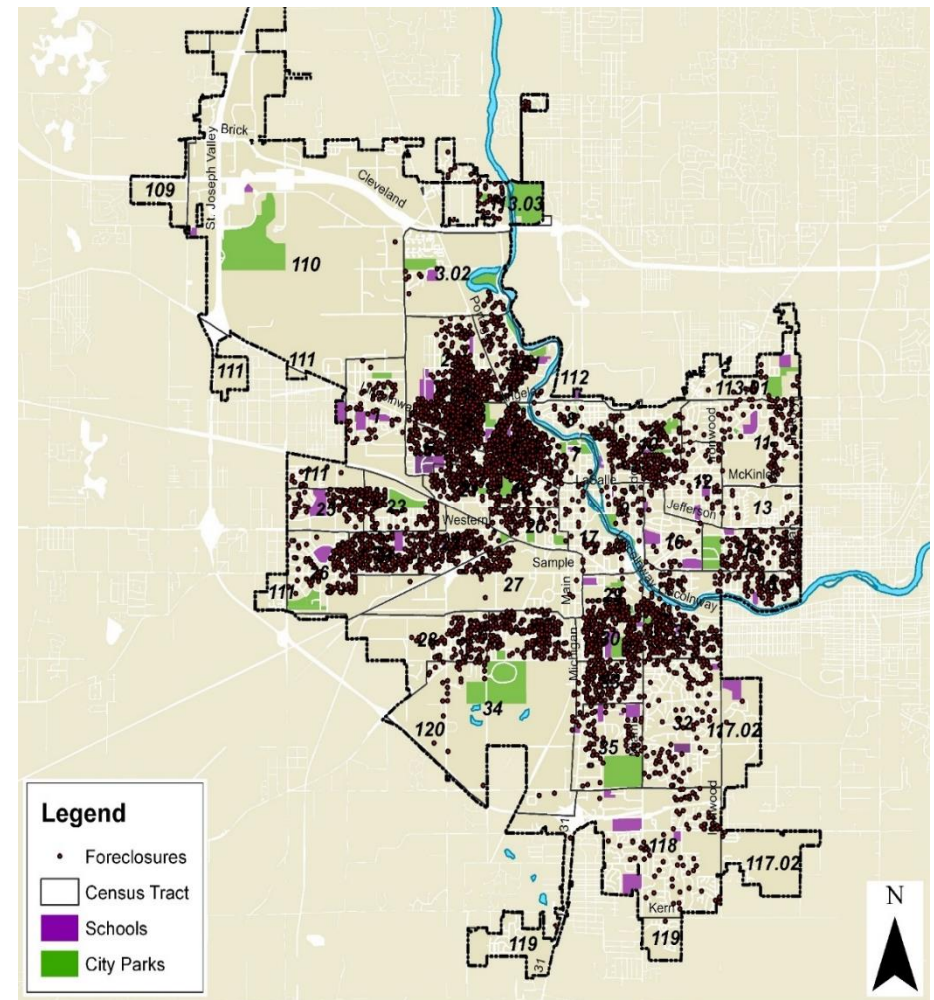
- “ Where We Started
- “ Reaching 1,000 House Goal
- “ Where We Are Today
- “ What We Heard
- “ Lessons Learned and Path Forward



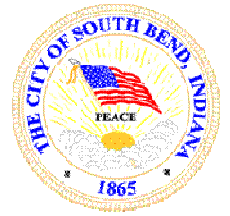
A Growing Concern



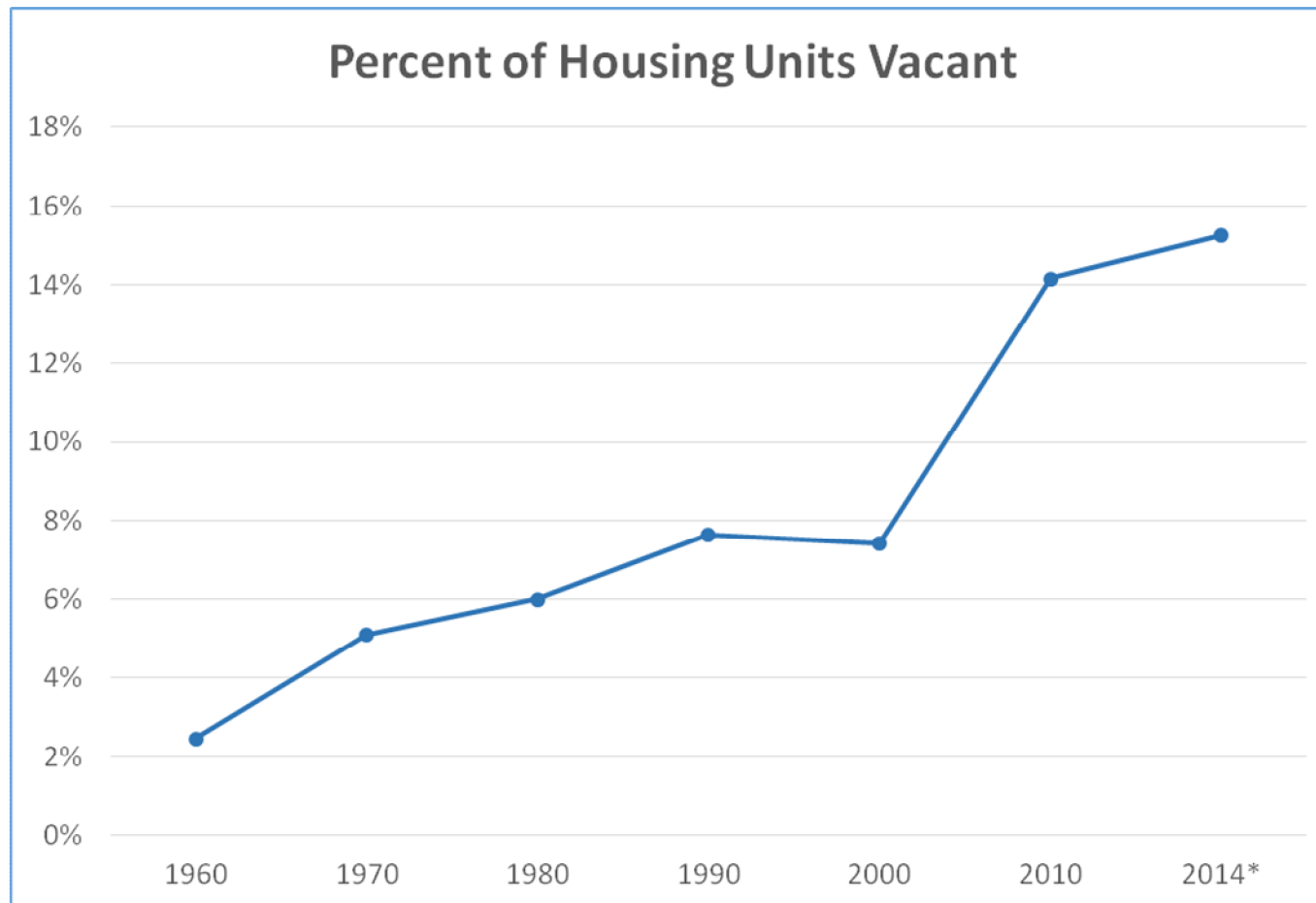
Population change, 1970 - 2010



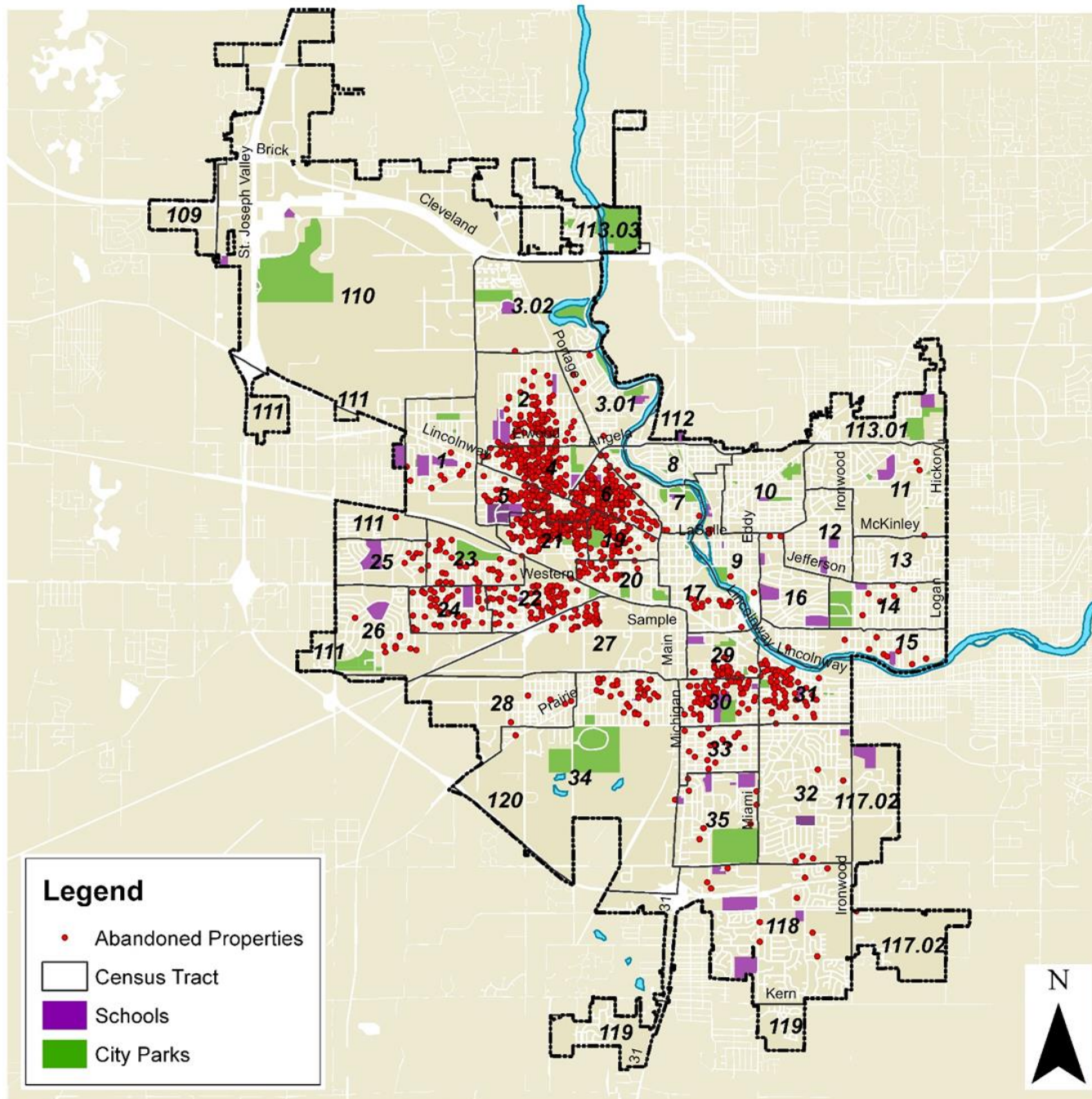
Foreclosures, 2001 - 2007



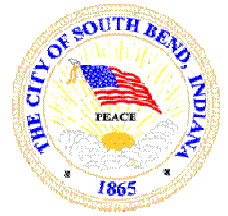
A Growing Concern



Source: 1960 – 2010 Decennial Census; 2014 ACS 1-Year Estimate



Abandoned properties as of Feb. 2013



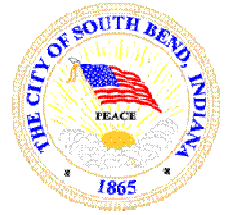
A Growing Concern

Cost of Blight

- **Crime:** Austin, TX study found blocks with vacant buildings had increased PD calls:
 - 3.2X more drug related
 - 2X violence related
 - 1.8X more theft related calls
- Corrosive effect on neighboring **property values**
 - Houses < 150 feet of V&A property experienced net loss of \$7,627 in value in a Philadelphia study



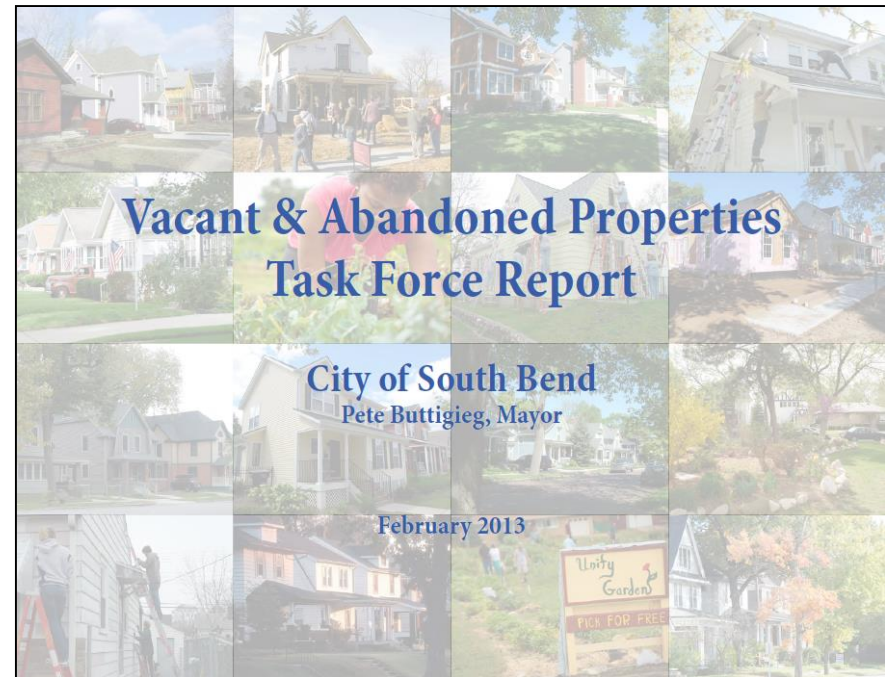
Source: *Vacant Properties: The True Costs to Communities*. National Vacant Properties Campaign. 2005.



Addressing the Issue

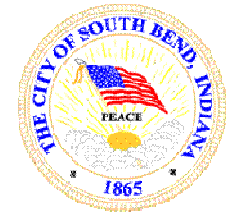
1,000 Houses/ 1,000 Days

- **Vacant & Abandoned** properties are: houses that no one has lived in for at least 90 days **AND** has a housing code violation that has not been addressed for more than 30 days
- **Myths:**
 - “ City owns all V&A properties
 - “ 1000/1000 initiative was only a demolition program
 - “ City owns vacant lots after demolition
 - “ City demolished occupied dwellings



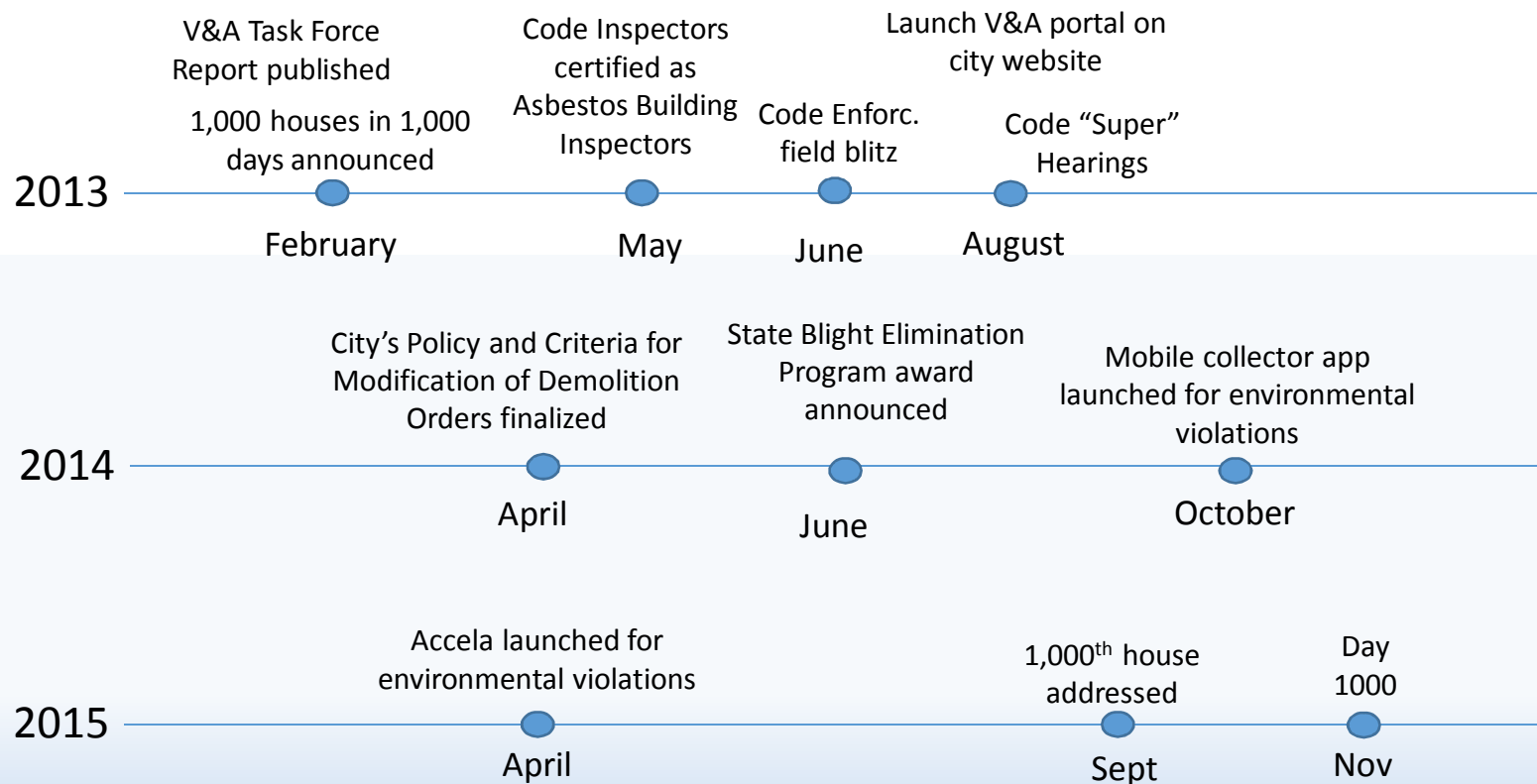
- Task Force Report

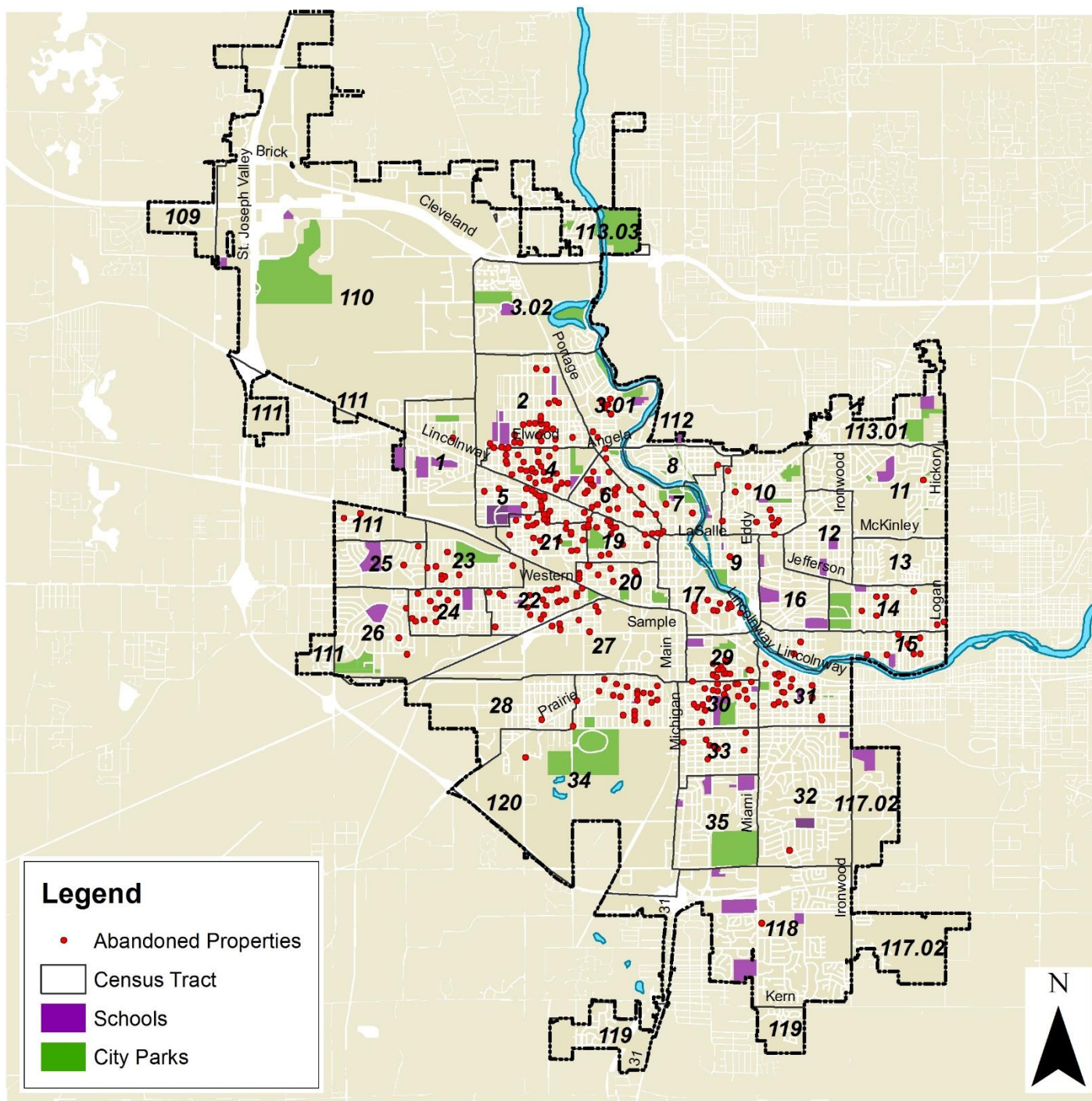
- Data Driven Decision Making
- Code Enforcement
- Land Banks & Tax Sales
- Resources & Reuse

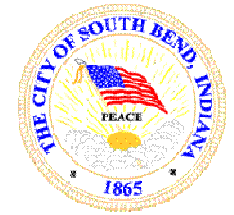


Addressing the Issue

Timeline



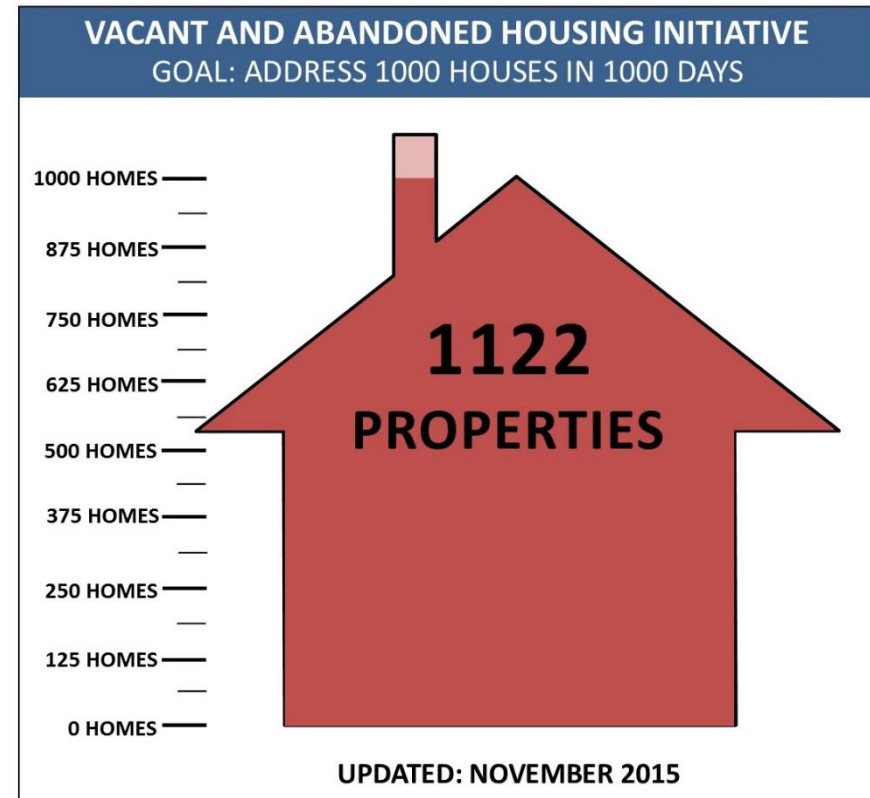
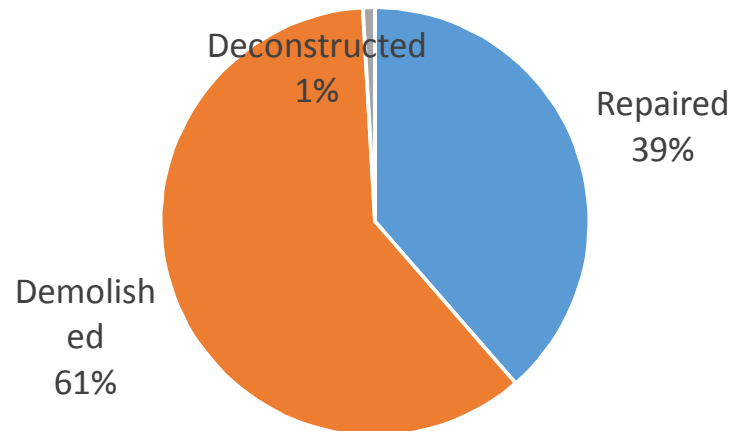


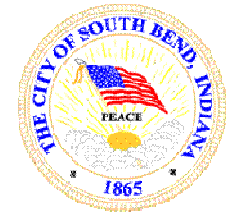


Key Outcomes

Count of Houses:

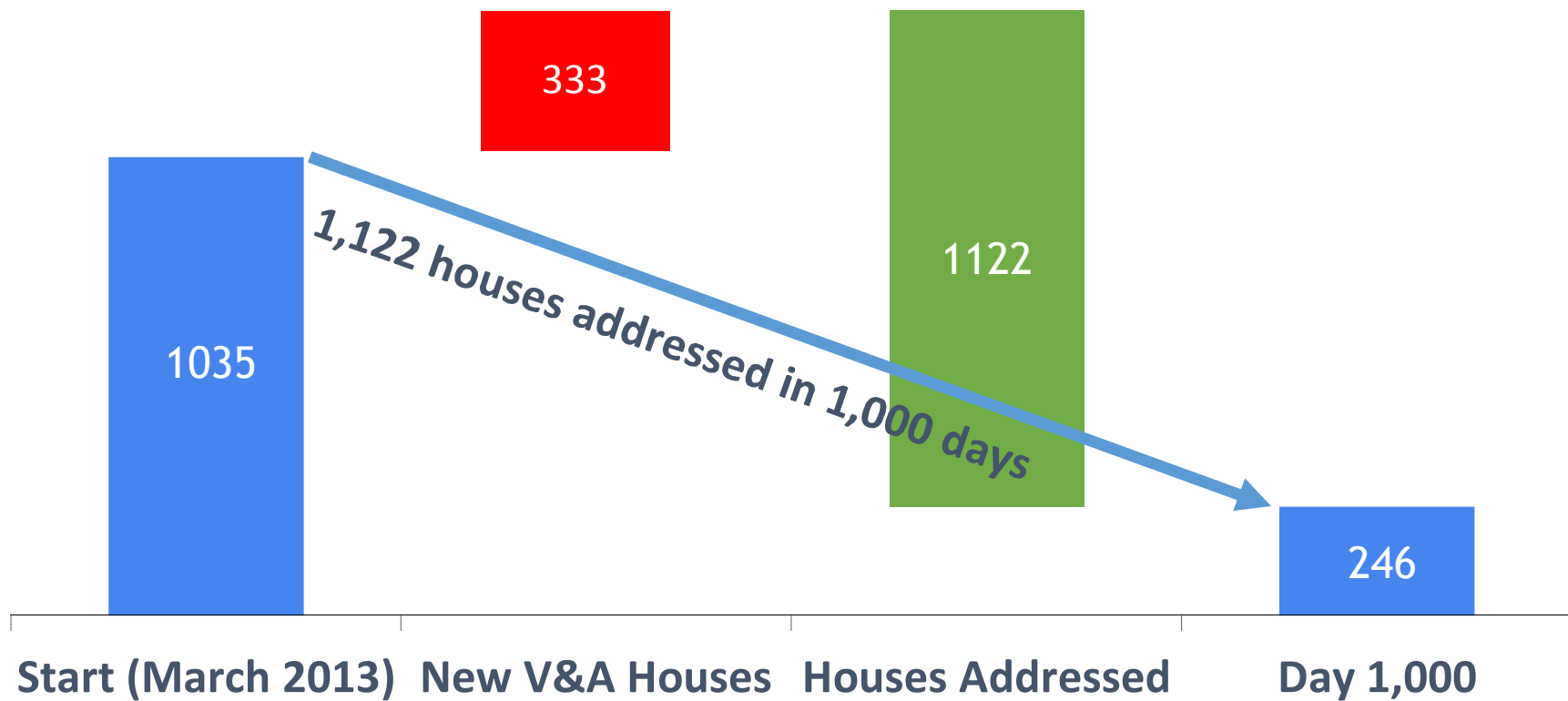
427 Houses Repaired
569 Houses Demolished
10 Houses Deconstructed
6 CDC Partner Houses
0 State Blight Elimination Program
0 Houses Under Contract for Deconstruction
110 Houses Under Contract for Demolition
1122 Total

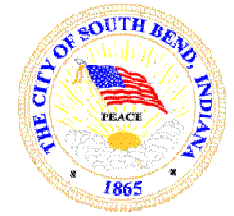




Where We Are Today

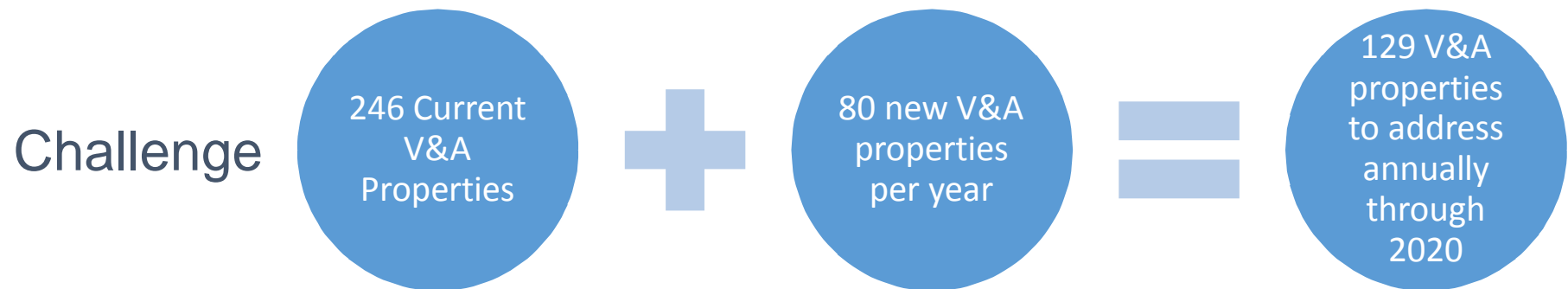
Inventory of Vacant and Abandoned Houses



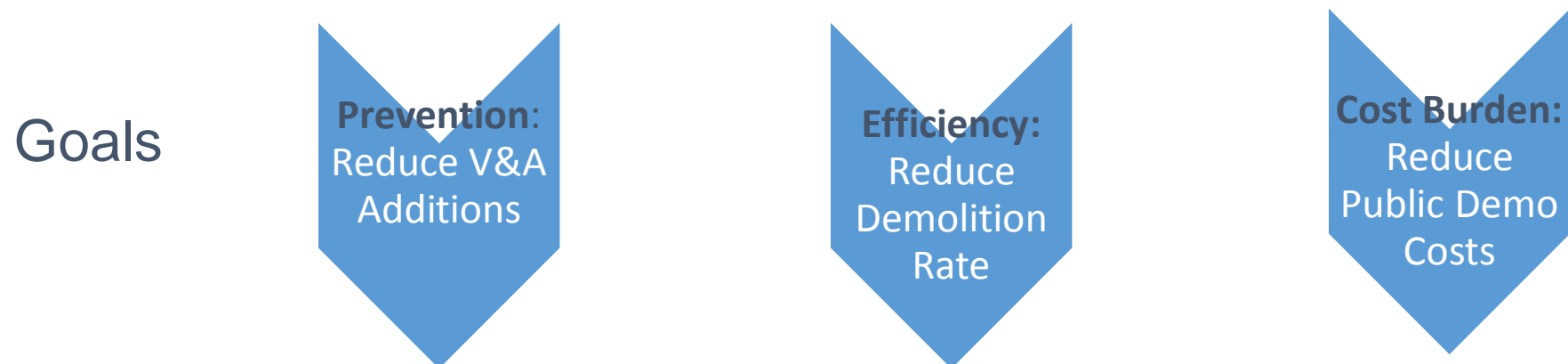


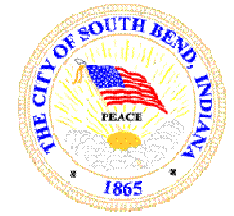
Where We Are Today

1. V&A Houses: Now a manageable problem still needing attention



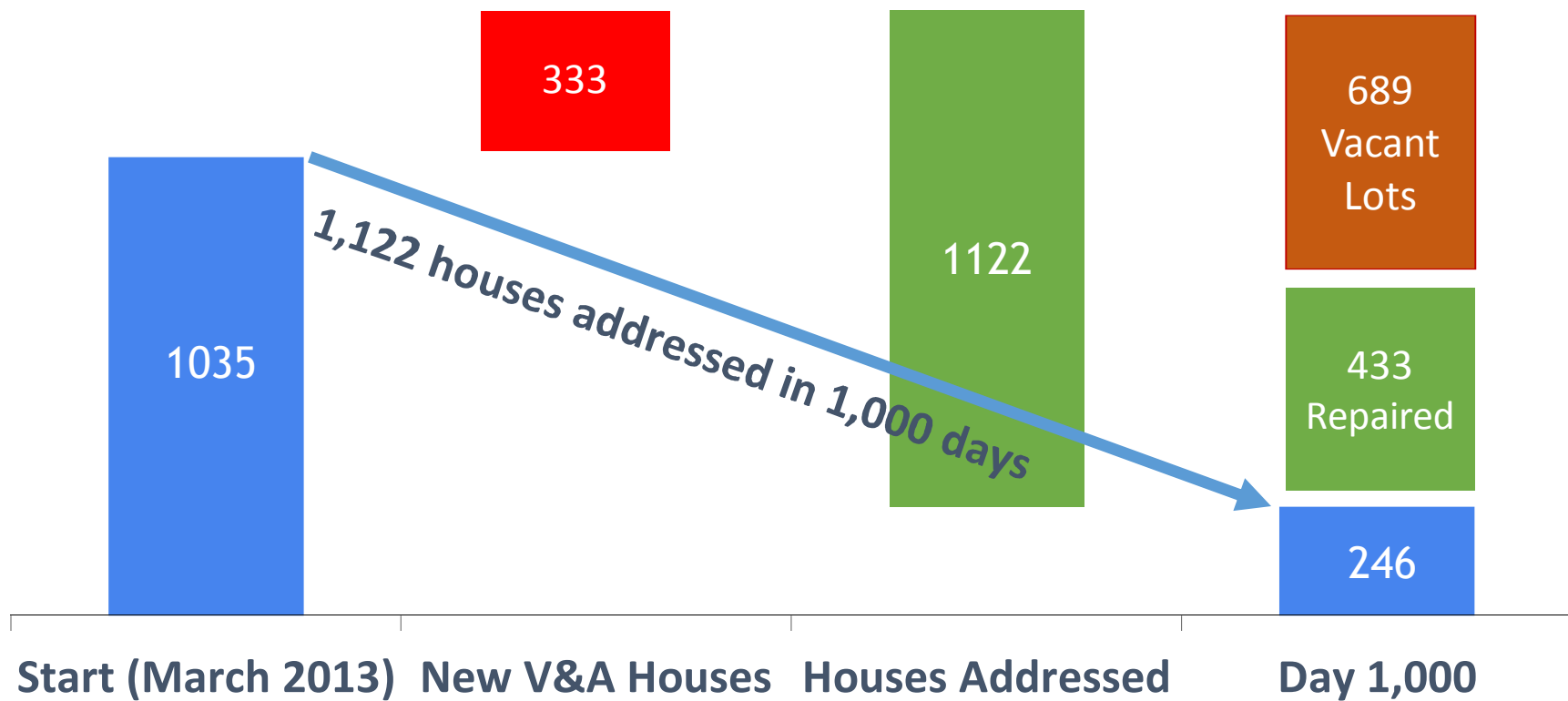
Addressing 129 V&A properties per year, at current demolition rate, would require 78 demolitions per year. In 2016 budget, \$500,000 will cover an estimated 33 demolitions without collections.

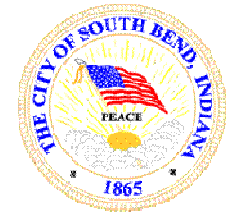




Where We Are Today

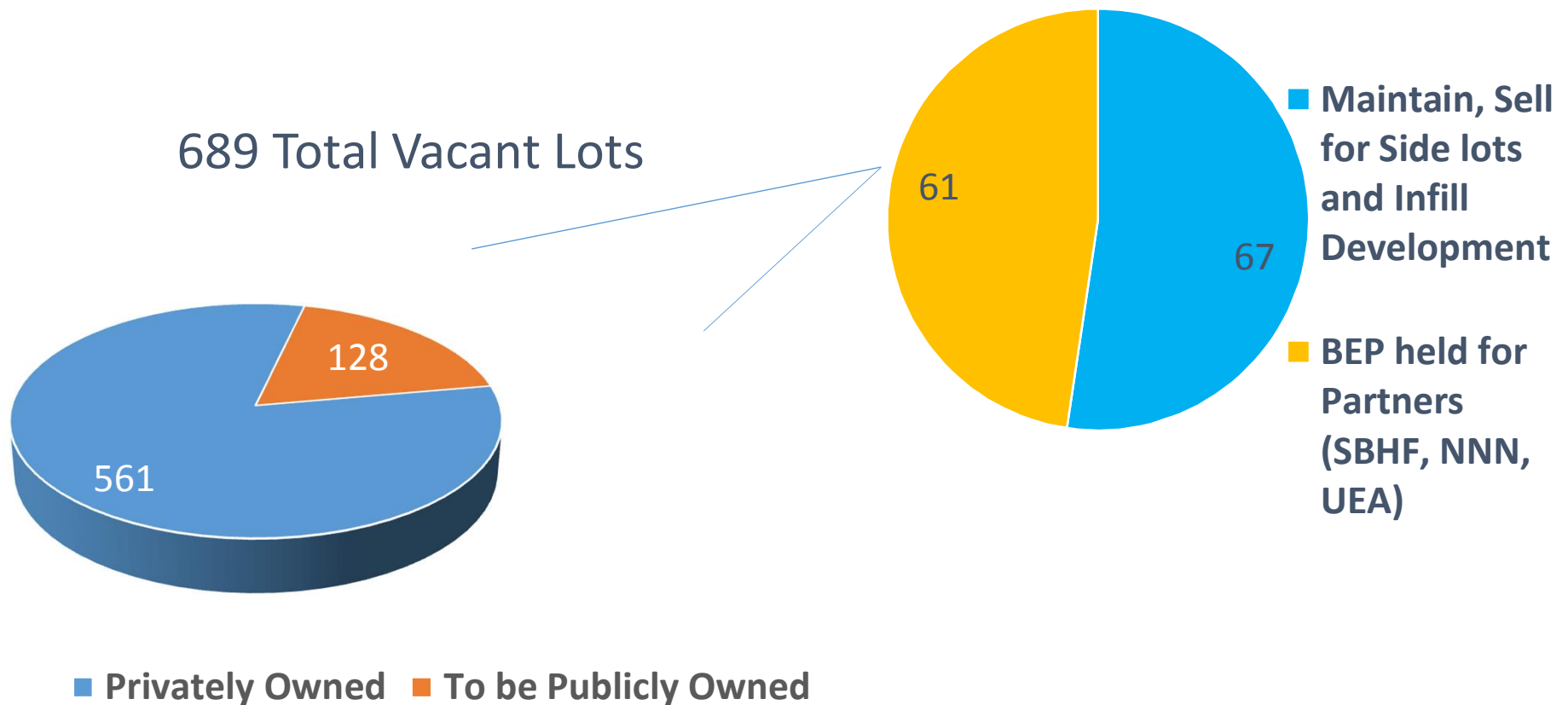
Inventory of Vacant Lots

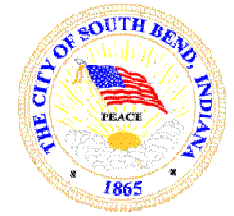




Where We Are Today

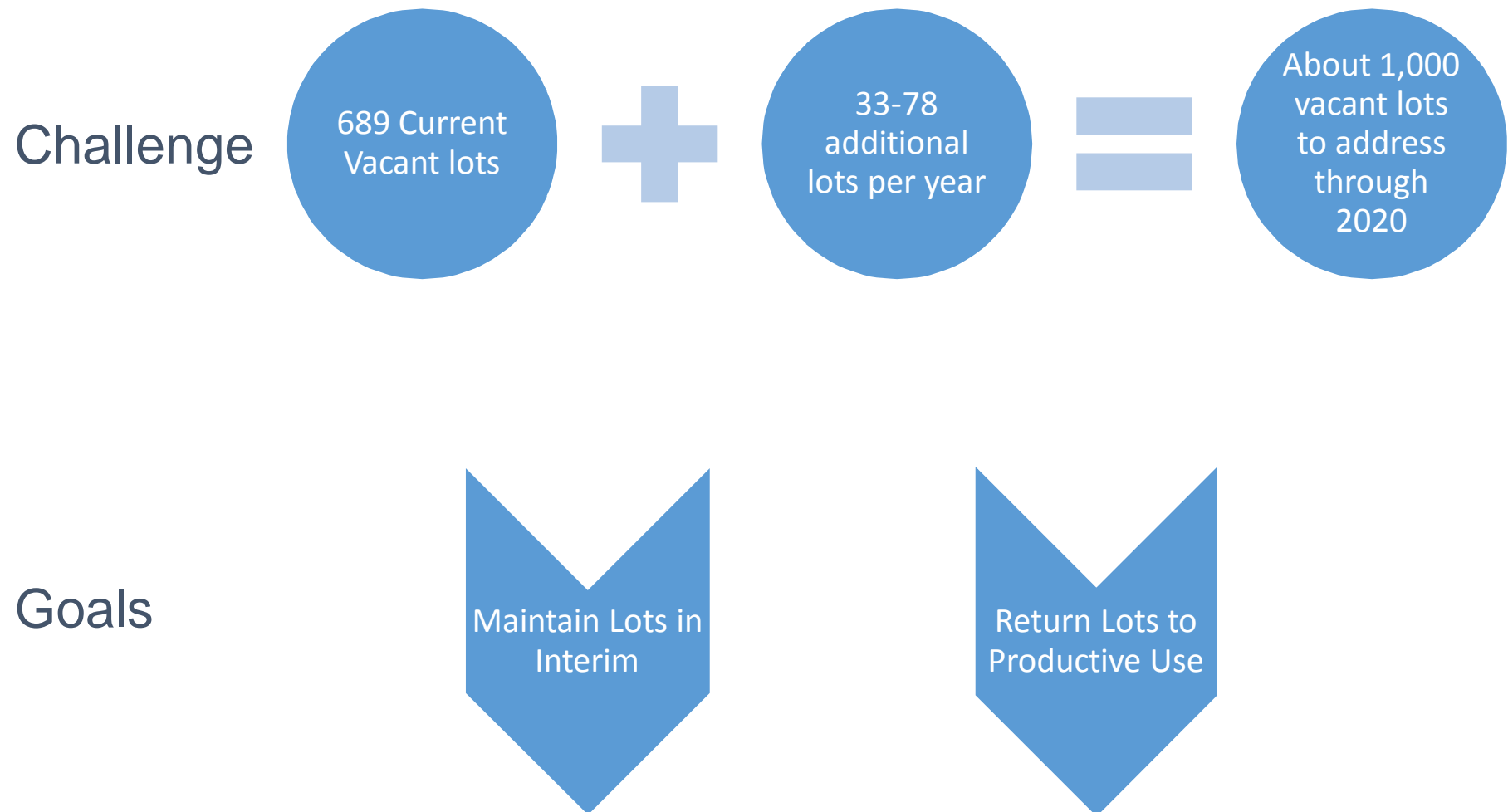
Interim Public Ownership

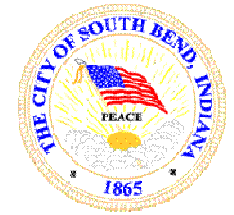




Where We Are Today

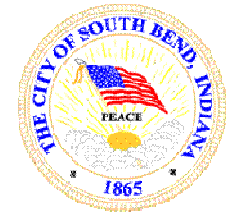
2. Vacant Lots: A new challenge that requires varied approaches





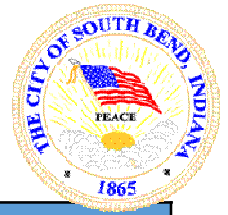
What We Learned

ISSUE	CHALLENGE	RESPONSE/ADAPTATION
Reliable data is elusive but critical for program implementation	Paper-based Code department, Information dispersed in several locations; case management	<ul style="list-style-type: none"> Created new, comprehensive list of abandoned properties categories by condition code 2 week 'blitz' by staff to survey entire city Integrated quantitative and qualitative data into GIS mapping Information made available on-line
	General operations and skills needed for scaled effort	<ul style="list-style-type: none"> Reorganized the Code Department Certified as Asbestos Building Inspectors Software upgrades to redefine Workflow
	Underutilized Unsafe Building Law as effective enforcement tool	<ul style="list-style-type: none"> Shortened re-inspection timeframe/process from years to months Introduced Hearing Process to increase owner response Utilized Continuous Enforcement Orders
	No formal process to allow repair for house with a demo order	<ul style="list-style-type: none"> Established policy and criteria for modification of Demolition Orders
	Effective implementation of bid demolition orders	<ul style="list-style-type: none"> Revised process to bid through BPW; enabled scaling of effort and coordination with utilities
	Inefficient collections process	<ul style="list-style-type: none"> Engaged collections firm



What We Learned

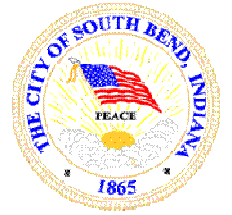
ISSUE	CHALLENGE	RESPONSE/ADAPTATION
Cooperative partnerships are essential	Information and processes straddle several levels of government	" Collaboration with County for focused land-transfers to City " Integration of GIS / property data
Ownership is central challenge	Disposition of properties; no land bank authorization in Indiana	" Psuedo-land bank to hold and maintain properties to be transferred/sold " Partnership with County on tax sale transfers " Opportunity Space site/ Process Mapping



What We Heard

FOCUS GROUP THEMES	DESIRED OUTCOMES	PROPOSED ACTIVITIES
Better communication on code enforcement and other city processes	Property Acquisition	FAQs on V&A/tax sale processes Explore new tax sale legislation with County User friendly interface to see city owned lots
	Responsible Home Ownership	Property Owner Responsibility FAQ's Resident Information Booklet
	Clear Code Enforcement Process	Code Enforcement FAQ's
	Clear City Processes	Materials explaining City processes
Improve interim conditions of remaining houses and vacant lots	Property Maintenance	DCI Consolidated Property Maintenance Neighborhood Enhancement Action Team
	Effective Enforcement	Change inspection fleet vehicles
		Continue enforcement of Unsafe Building Law
		Continuous enforcement
		Engage Collections Firm Improved Billing Process
Address unresponsive owners and non-local owners	Responsive Landlords	Landlord Registration Ordinance
	Responsive Neighborhood Investors	Landlord Licensing Ordinance
Increase Access to Resources	Prevention of V&A Houses and Vacant Lots	Pilot Programs (e.g. Vacant to Value Repair Grant, Targeted Exterior Repair Grant)
Reuse of Vacant Lots	Productive Reuse	Pilot Programs and Policies (e.g. Vacant Lot Competition, Targeted redevelopment efforts)

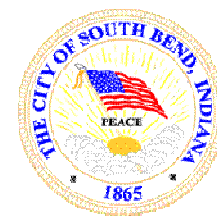
Moving Forward



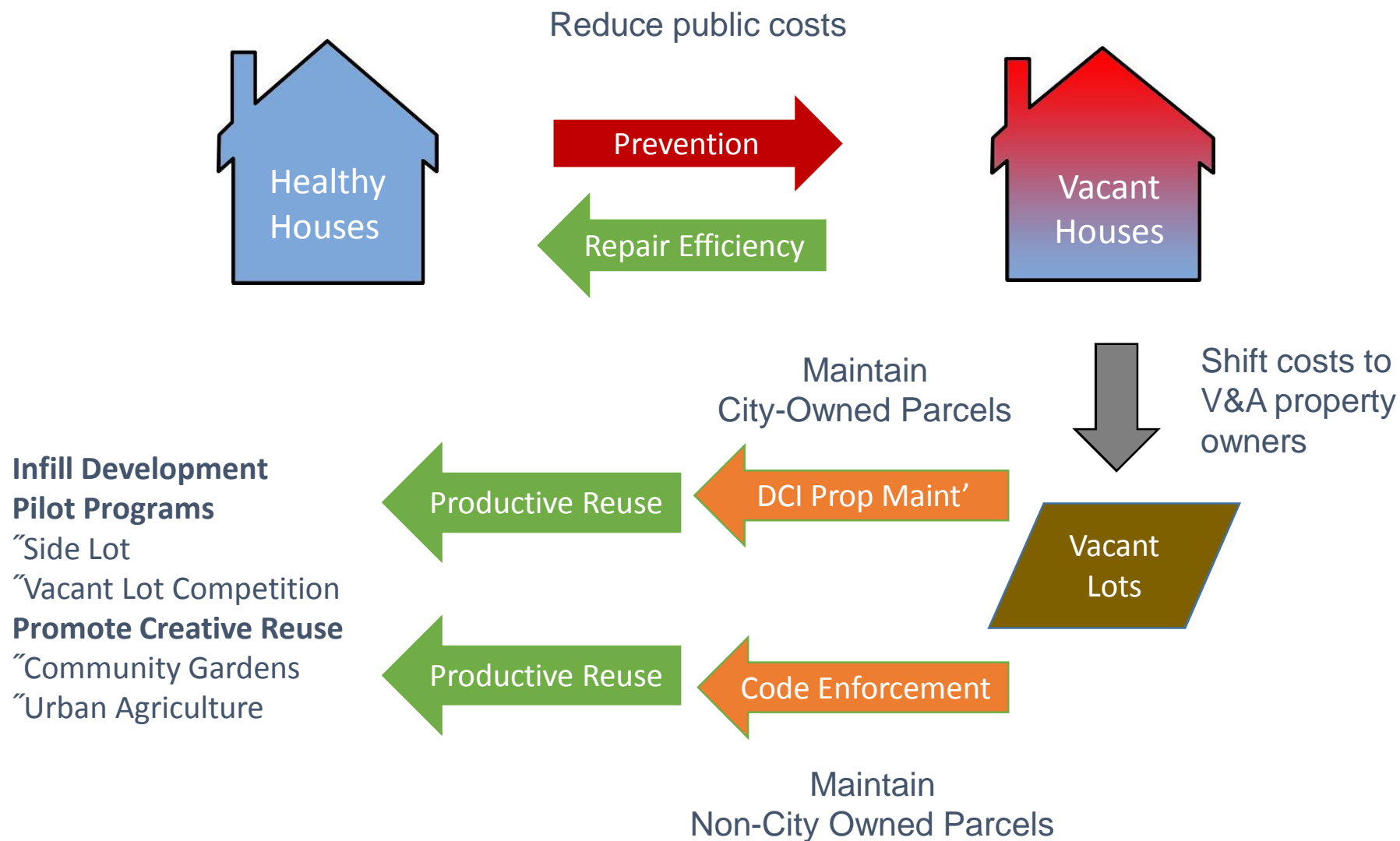
Objectives:

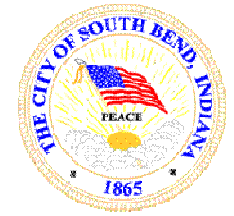
1. Prevent Future V&A Houses
2. Increase Repair Rate of Remaining V&A Houses
3. Reduce Public Costs of Demolitions
4. Maintain Vacant Lots during interim
5. Move Vacant Lots into Productive Uses





Moving Forward

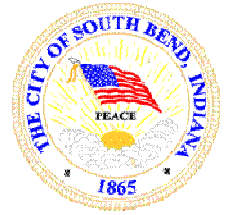




Moving Forward

1. Prevention and Increasing Repair Rate – Housing Programs

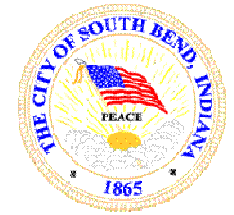
GOAL	OUTCOME	ACTIVITY
Promoting homeownership	Educated Buyers	Pre and Post Purchase Counseling; Homebuyer Education
	Home Purchase Financing	Principal reduction and closing costs assistance (Comm Homebuyers Corp)
	Acquisition/rehab	Acquire, rehab, sell (e.g H4H,SBHF, NNN, etc)
	New Construction	Gap financing (e.g. Lincoln Park Dev)
Maintaining homeownership	Resilient Homeowners	Mortgage Delinquency/Default Resolution Counseling, Hardest Hit Funds (HHF)
Improving housing stock	Home Repair	Grants for specific repairs on a home (SBHIP, Ext Repair Match Grant)
Improving rental housing	Home Repair & Maintenance	Landlord Registration Landlord Licensing
Managing code violations	Home Repair	Matching grant for code violations and other repairs (V2V Match Grant)



Moving Forward

2. Maintaining Vacant Lots and Returning to Productive Use

GOAL	OWNERSHIP OF LOT	ACTIVITY
Maintaining Lots	City-owned	DCI Consolidated Property Maintenance
	Non City-owned	Continuous Enforcement of Mowing and Illegal Dumping
Returning Lots to Productive Use	City-owned	Targeted acquisition/pseudo land bank
		" Disposition criteria
		" Development
		" Neighborhood Stewardship
		" Market Available Parcels
	Non City-owned	Engage private sector/residents
		" Information sharing on gaining ownership
		" Working w/County on V&A sale reform
		" Facilitation to CDC's for development
		" Side lot grants



Moving Forward



November 2015

RAISING THE BAR: LINKING LANDLORD INCENTIVES AND REGULATION THROUGH RENTAL LICENSING

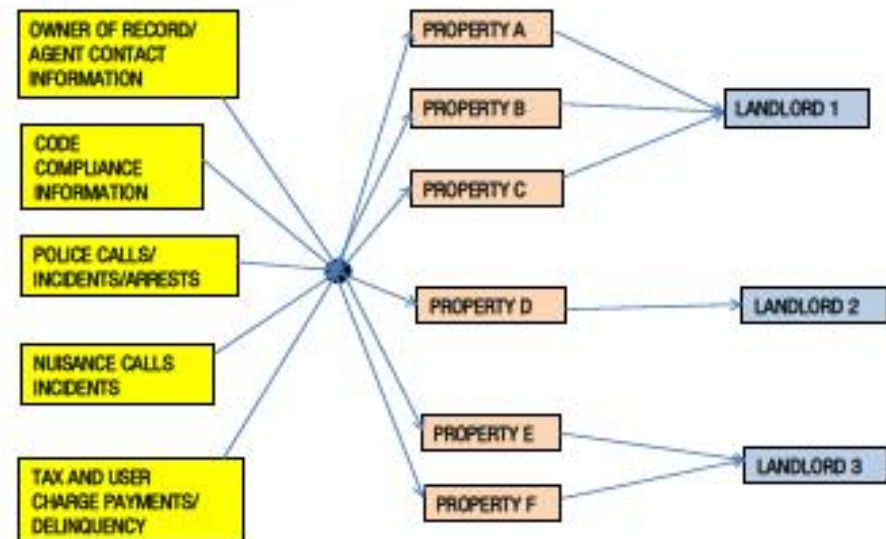
A Short Guide for Local Government Officials

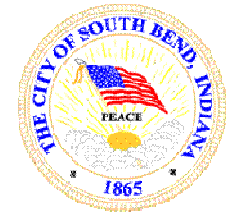
Alan Mallach
Center for Community Progress



A Center for Community Progress Practice Brief

FIGURE 1: SCHEMATIC REPRESENTATION OF BASIC RENTAL PROPERTY INFORMATION SYSTEM





Moving Forward

opportunitySPACE What We Do Why Us? Community About Us Find Properties Schedule a Demo Log In

Home / Cities / Louisville, KY / Map / 2540 ROWAN ST

2540 ROWAN ST

9 2540 ROWAN ST, Louisville, KY, 40212

Share Like Share Tweet Email Print Help

Note: street view and images might not reflect the status of the property accurately

Details Policies Programs and Incentives

What is the **PROCESS**?

What are the **REQUIREMENTS**?

What is the **EVALUATION CRITERIA**?

Send us a message or call 658-483-4064 Jivochat

2540 ROWAN ST

\$1,000.00 asking price

\$125.00 if side lot

First Last

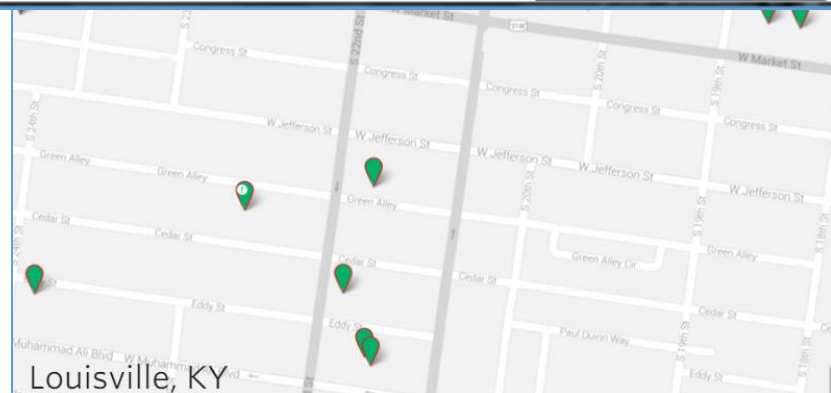
E-mail Phone (optional)

I am interested in 2540 ROWAN ST, Louisville, KY.

FZSGNM Type the letters

Submit Inquiry

or fill out an application



Find Properties Schedule a Demo Log In







For Sale/Lease ☒ Yes ☐ No

Property Type ☐ Land ☒ Building

Land Size 0 600.0309000000001 acres

Building Size 0 19037.5 sqft.

More filters

 2128 CEDAR ST 2128 CEDAR ST 8372.23 sqft.	 219 S 25TH ST 219 25TH ST 3998.01 sqft.
 2223 CEDAR ST 2223 CEDAR ST 4822.09 sqft.	 2229 PIRTLE ST 2229 PIRTLE ST 2169.29 sqft.
 2227 PIRTLE ST	 2116 PIRTLE ST



To learn more about the Vacant & Abandoned
Property Initiative visit

www.SouthBendIN.gov/vap

The Task Force Report is available at

www.SouthBendIN.gov/vapreport

